

DAVIESS COUNTY FISCAL COURT

212 St. Ann Street, Room 202
Owensboro, KY 42303

ADDENDUM NO. 3

May 21, 2024

The following additions, deletions, modifications, or clarifications shall be made to the appropriate sections of the specifications and shall become a part of the Contract Documents. Bidders shall acknowledge receipt of this Addendum by signing this document and including it in the bid document.

- Clarification on Finish Plan drawings (see attachment) calling out matching existing tile in corridor.
- Clarification on Finish Plan drawings (see attachment) showing tile only on wet walls.
- Clarification of HVAC and Light Replacement vendors and control wiring (see attachment).
- The local planning and zoning has agreed to let the project be broken down into three projects. Once a project is complete a CO will be issued for that section. Fiscal Court will treat this as one project with a defined completion date.
- Areas to remain occupied during construction are as follows: basement, Sheriff Office 1st floor, PVA 1st floor, Clerk Office 1st floor, Sheriff Office 2nd floor, Coroner's Office 2nd floor, and courtroom 2nd floor.
- No new ceiling grid in basement or Coroner's Office.
- Asbestos abatement will be contracted directly through Fiscal Court and scheduling to be done by general contractor.
- Access control wiring will be through a county contractor. Conduit, boxes, and pull string by general contractor.
- The base in rooms 205 and 230 should be RB1.

Except as expressly modified herein, all else remains as originally issued and in full force. **Bidders shall acknowledge receipt of this Addendum by signing this document and including it in the bid document.**

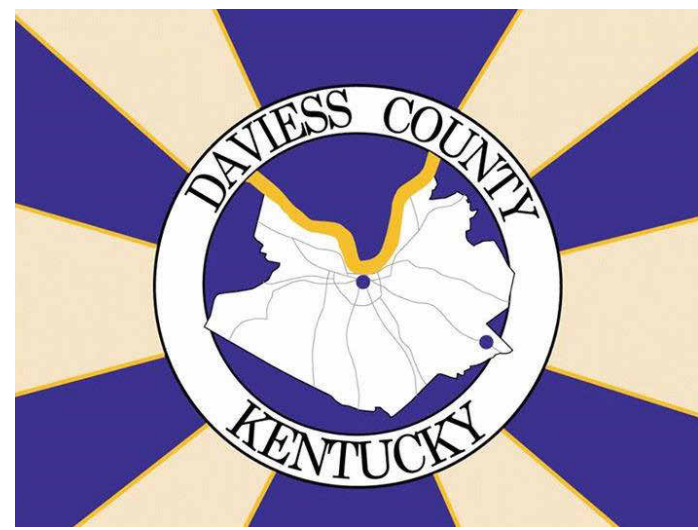
Company Name

Authorized Agent (Print)

Signature

Title

_____/_____/_____
Date



Office Renovation

212 St Ann St #202,
Owensboro, KY 42303



2625 Frederica Street, Suite 2B | Owensboro, KY 42301
Office | 270-663-1256

ELECTRICAL / PLUMBING



1830 Destiny Lane, Suite 113
Bowling Green, KY 42104
Wesley Russelburg, PE
Wesley@skyengineeringmep.com
270.784.0722

MECHANICAL / LIGHTING



3000 Canton street, Hopkinsville, Ky 42240
Phone: 270-886-2536 Fax: 270-885-7978

Lighting:
Thomas Waldron, PE
Thomas@wbengr.com

HVAC:
Ragon Grimes, PE
Ragon@wbengr.com

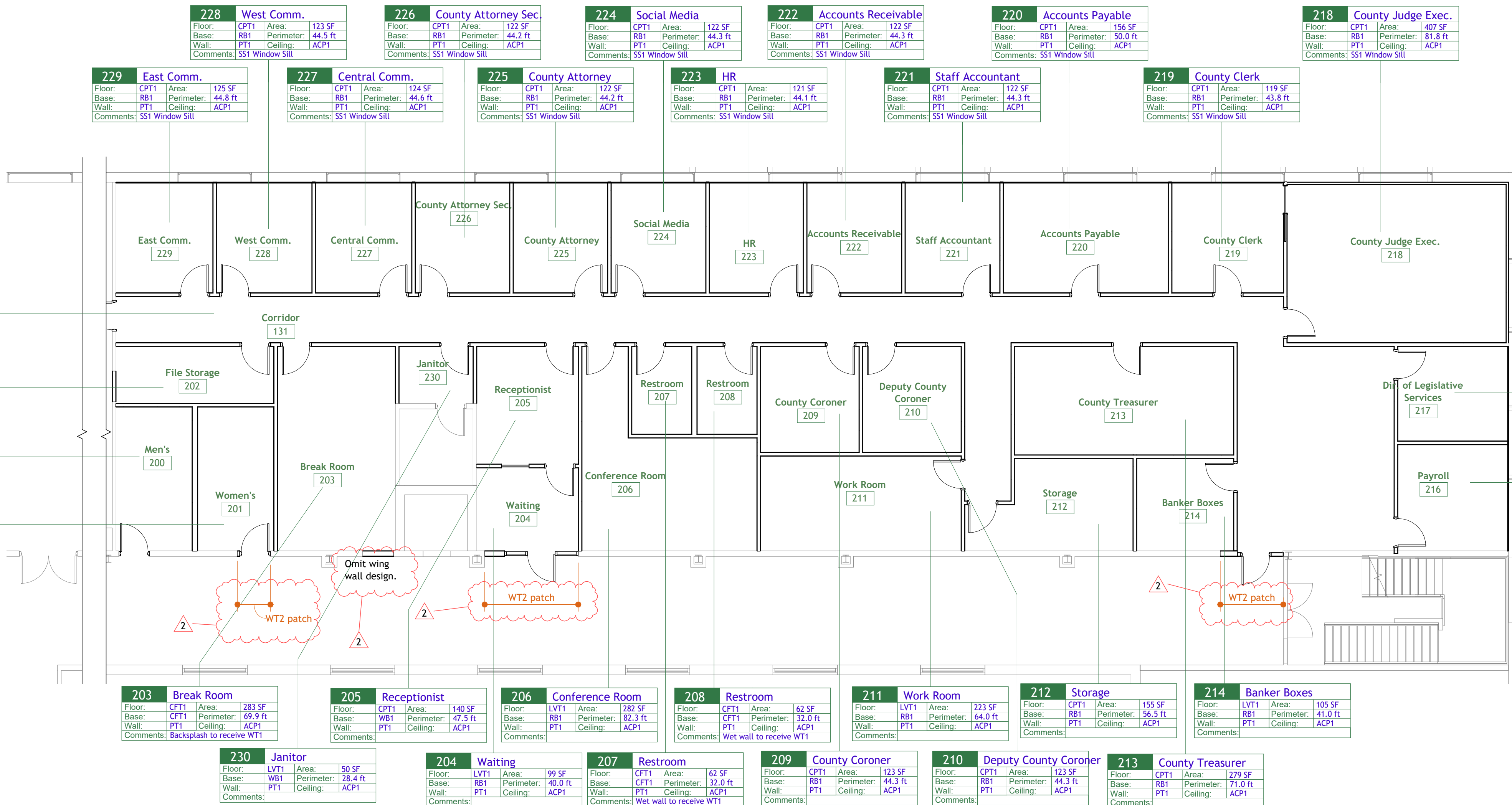
Architect's Project # DC27



April 19, 2024

No.	Description	Date
1	Addendum 2	4/30/24
2	Addendum 3	5/21/24

Drawings were created in, and are to be reproduced in, color.



131	Corridor
Floor: LVT1	Area: 1,099 SF
Base: RB1	Perimeter: 367.1 ft
Wall: PT1	Ceiling: ACP1
Comments: SS1 Window Sill	

202	File Storage
Floor: LVT1	Area: 106 SF
Base: RB1	Perimeter: 46.6 ft
Wall: PT1	Ceiling: ACP1
Comments: SS1 Window Sill	

200	Men's
Floor: CFT1	Area: 129 SF
Base: CFT1	Perimeter: 47.7 ft
Wall: PT1	Ceiling: ACP1
Comments: Wet wall to receive WT1	

201	Women's
Floor: CFT1	Area: 129 SF
Base: CFT1	Perimeter: 47.7 ft
Wall: PT1	Ceiling: ACP1
Comments: Wet wall to receive WT1	

203	Break Room
Floor: CFT1	Area: 283 SF
Base: CFT1	Perimeter: 69.9 ft
Wall: PT1	Ceiling: ACP1
Comments: Backsplash to receive WT1	

205	Receptionist
Floor: CFT1	Area: 140 SF
Base: WB1	Perimeter: 47.5 ft
Wall: PT1	Ceiling: ACP1
Comments: SS1 Window Sill	

206	Conference Room
Floor: LVT1	Area: 282 SF
Base: RB1	Perimeter: 82.3 ft
Wall: PT1	Ceiling: ACP1
Comments: Wet wall to receive WT1	

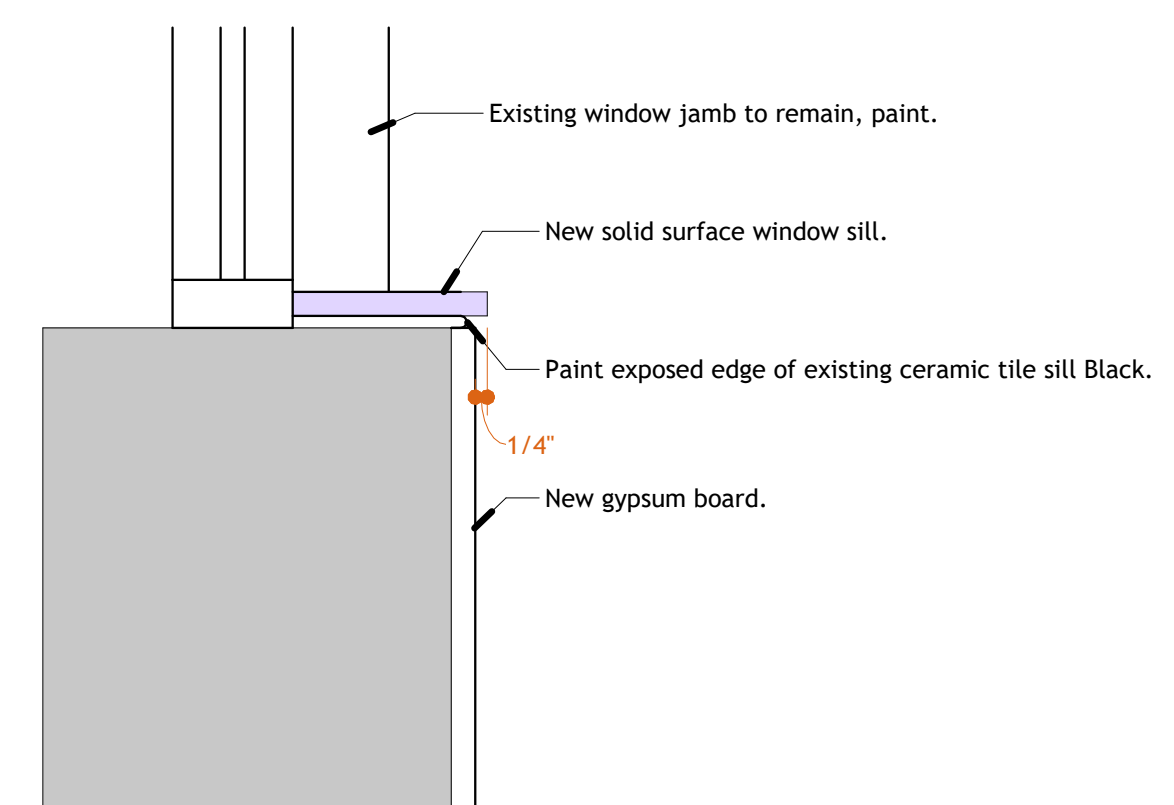
208	Restroom
Floor: CFT1	Area: 62 SF
Base: CFT1	Perimeter: 32.0 ft
Wall: PT1	Ceiling: ACP1
Comments: Wet wall to receive WT1	

209	County Coroner
Floor: CPT1	Area: 123 SF
Base: RB1	Perimeter: 44.3 ft
Wall: PT1	Ceiling: ACP1
Comments: SS1 Window Sill	

210	Deputy County Coroner
Floor: CPT1	Area: 123 SF
Base: RB1	Perimeter: 44.3 ft
Wall: PT1	Ceiling: ACP1
Comments: SS1 Window Sill	

213	County Treasurer
Floor: CPT1	Area: 123 SF
Base: RB1	Perimeter: 44.3 ft
Wall: PT1	Ceiling: ACP1
Comments: SS1 Window Sill	

1 Finish Plan
1/8" = 1'-0"



2 Window Sill
3" = 1'-0"

ROOM FINISH LEGEND:

FLOOR FINISH

- CPT1: J&J | Madras Modular | Jersey 2401
- LVT1: J&J | Power Play | Influence 1086
- CFT1: Daltile | Volume 1.0 | Intensity Pebble VL72 | 12x24
- Schluter Reno - TK, Satin at LVT transition
- Schluter Jolly, Satin at carpet tile transition

BASE FINISH

- RB1: Roppe | 175 Slate | Profile: PV5055, 5 1/2" x 3/8"
- CFT1: Daltile | Volume 1.0 | Intensity Pebble VL72 | cut to 6x24 size with factory edge up

PLASTIC LAMINATE

- PLAM1: Wilsonart | Cipollino Gringio 1882K-35

SOLID SURFACE

- SS1: Wilsonart 9116GS Soothing Grey

Windows Shades:

- All windows shall receive window shades.
 - A. Basis of Design: SWF Contract (Springs Window Fashions), Pro series, manual clutch control with silver 4" fascia, Summit U Series U300 fabric, 3% Openness, Slate Color
- All windows shall receive new solid surface window sill.

WALL MATERIAL

- PT1: Sherwin Williams | Gossamer Veil SW9165
- WT1: Daltile | Color Wheel Classic | Suede Gray 0182 | 6x6
- WT2: Schluter-Quades, Satin on exposed edges
- Match Existing: Basis of Design - Unglazed Mosaics (4 color custom blend) by American Ocean

CEILING FINISH

- ACP1: Armstrong | Ultima Bevel Tegular - 24x24 | White | White Grid - Prelude XL 15/16"

DOOR FINISHES

- PT2: Sherwin Williams | Grizzle Gray SW7068
- PLAM2: Charter Industries | Sterling Ash W7995
- PLAM3: Charter Industries | Pinnacle Walnut W7992

GENERAL FINISH NOTES

- All tile grout to be: TEC | Raven 941
- No transition profile between carpet and LVT
- Window jamb to existing wood shall be painted PT1
- Install tile on walls with gap at door frames. Caulk gap with color to match grout



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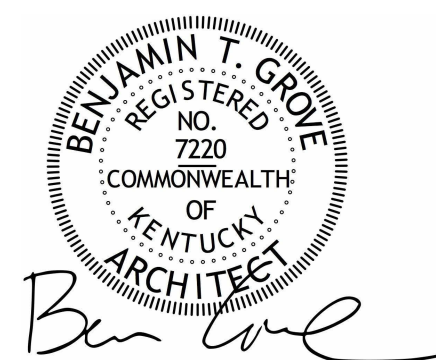


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Ceiling Plan & Enlarged Restroom Plans

A103

General Ceiling Plan Notes:

1. Soffit and bulkhead height shall be 2" below lowest adjacent ceiling, unless noted otherwise.
2. Provide control joints or other isolation means in gypsum board panels where (a) partition, furring, soffit, bulkhead or ceiling, (b) construction changed within plane of partition or ceiling, (c) partition, furring, soffit, bulkhead or ceiling run exceeds 30'-0", (d) as noted.
3. Bulkheads shall be diagonally braced to deck above with studs at 4'-0" O.C. minimum.
4. Refer to HVAC and Lighting Plan for grid layout. Light fixture layout controls grid placement.

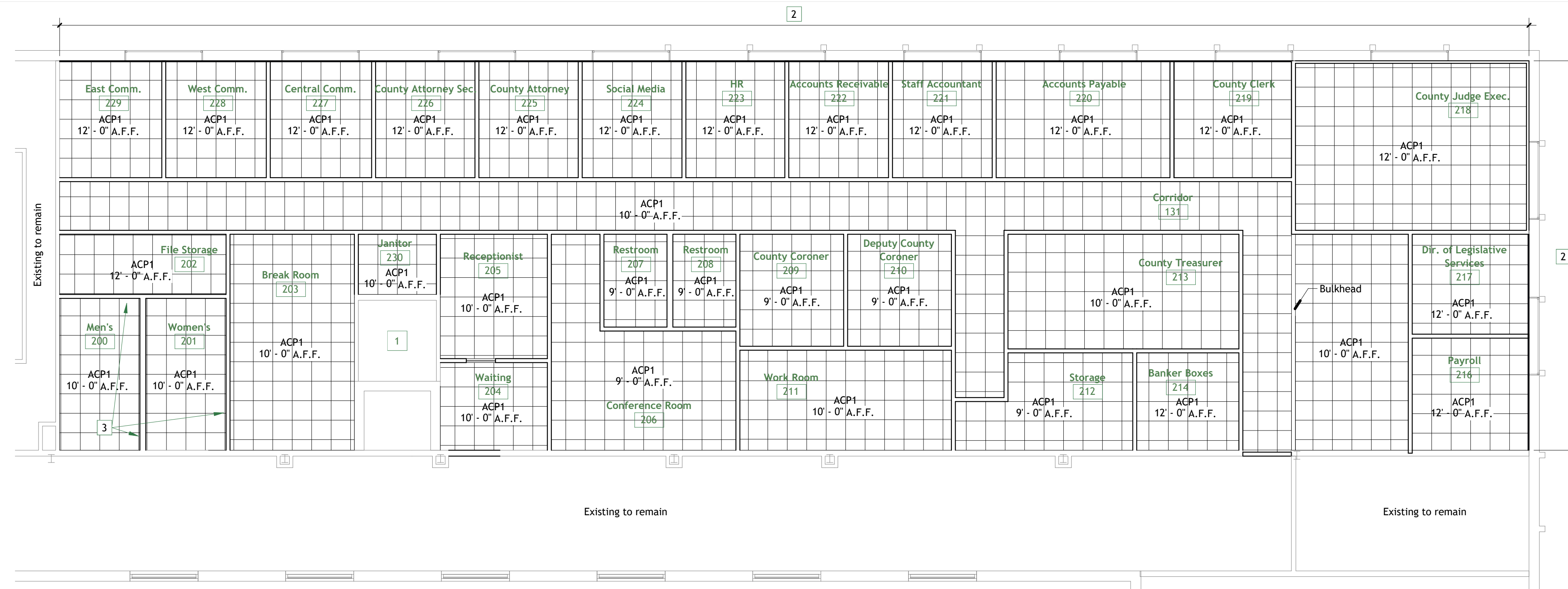
Reflected Ceiling Plan Key Notes:

1. Existing ceiling, to remain.
2. New ceiling grid and tile, unless noted otherwise. Refer to finish schedule.
3. Extend wall to structure above.

Suspended ceiling seismic design notes:

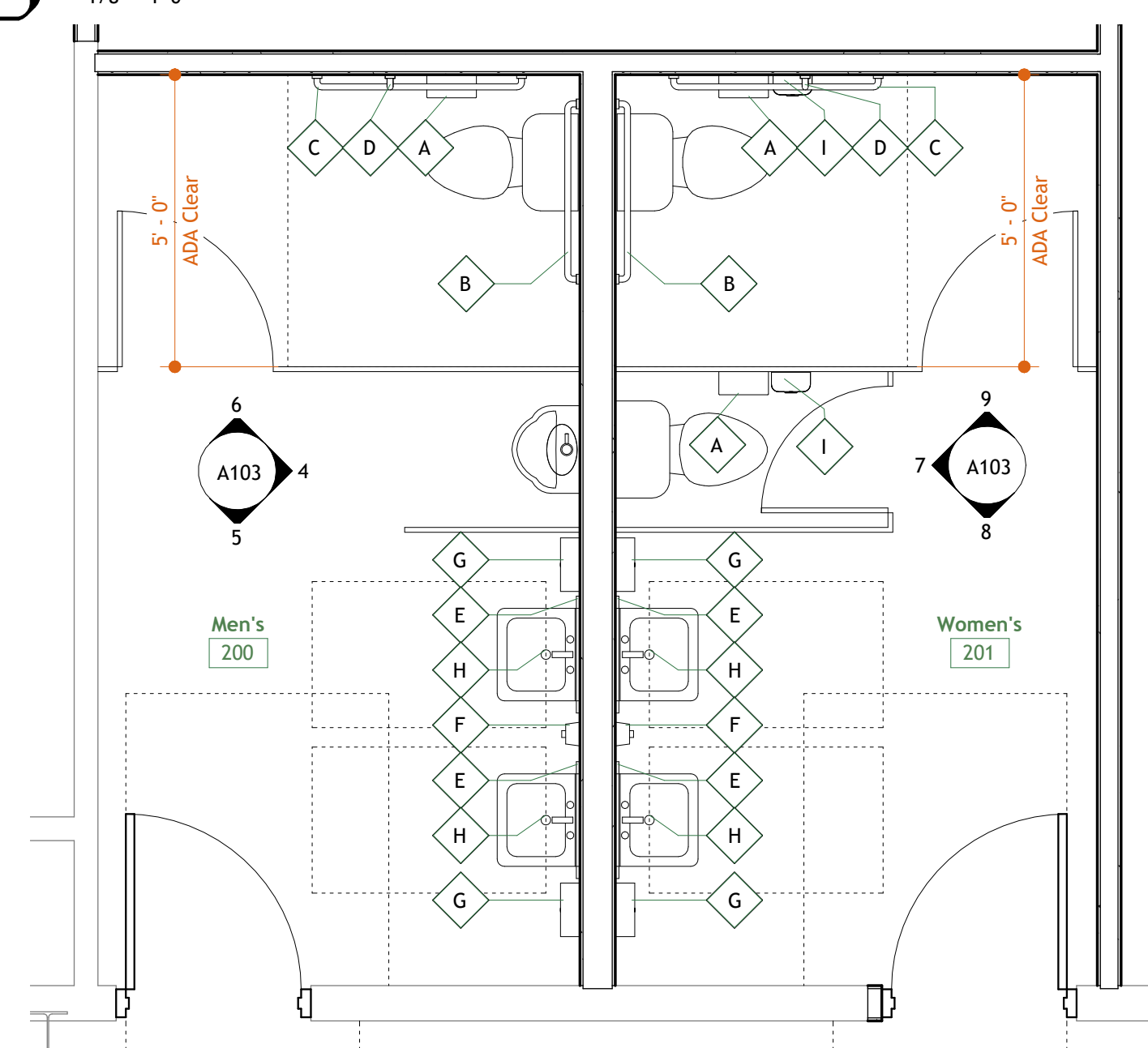
Seismic design categories D, E, & F - provide per ASTM c635 / c636, and the following seismic requirements:

- A. Heavy-duty grid system.
- B. Seismic code compliant 7/8" wall molding and seismic clip system. (clips not required for ceiling area of 144 sf or less that is surrounded by walls / soffits that are laterally braced to structure above.)
- C. Attached grid to two adjacent walls with seismic clips and set screws; opposite walls attached with seismic clips (no set screw) with 3/4" clearance.
- D. For ceiling areas over 1,000 sf - provide lateral force bracing by means of a seismic code compliant compression post (emt conduit or metal stud of appropriate gauge for securement height) and splay wire combination at main runners. Space bracing not more than 12-feet each way and a minimum of 6-feet from perimeter walls / soffits.
- E. For ceiling areas over 2,500 sf - provide hidden, seismic code compliant, separation joint system to create ceiling areas less than 2,500 sf.
- F. Changes in ceiling plane elevation to have positive bracing.
- G. Perimeter support wires within 8" of walls. (not required for ceiling area of 144 sf or less that is surrounded by walls / soffits that are laterally braced to structure above.)



1 New Ceiling Plan

1/8" = 1'-0"

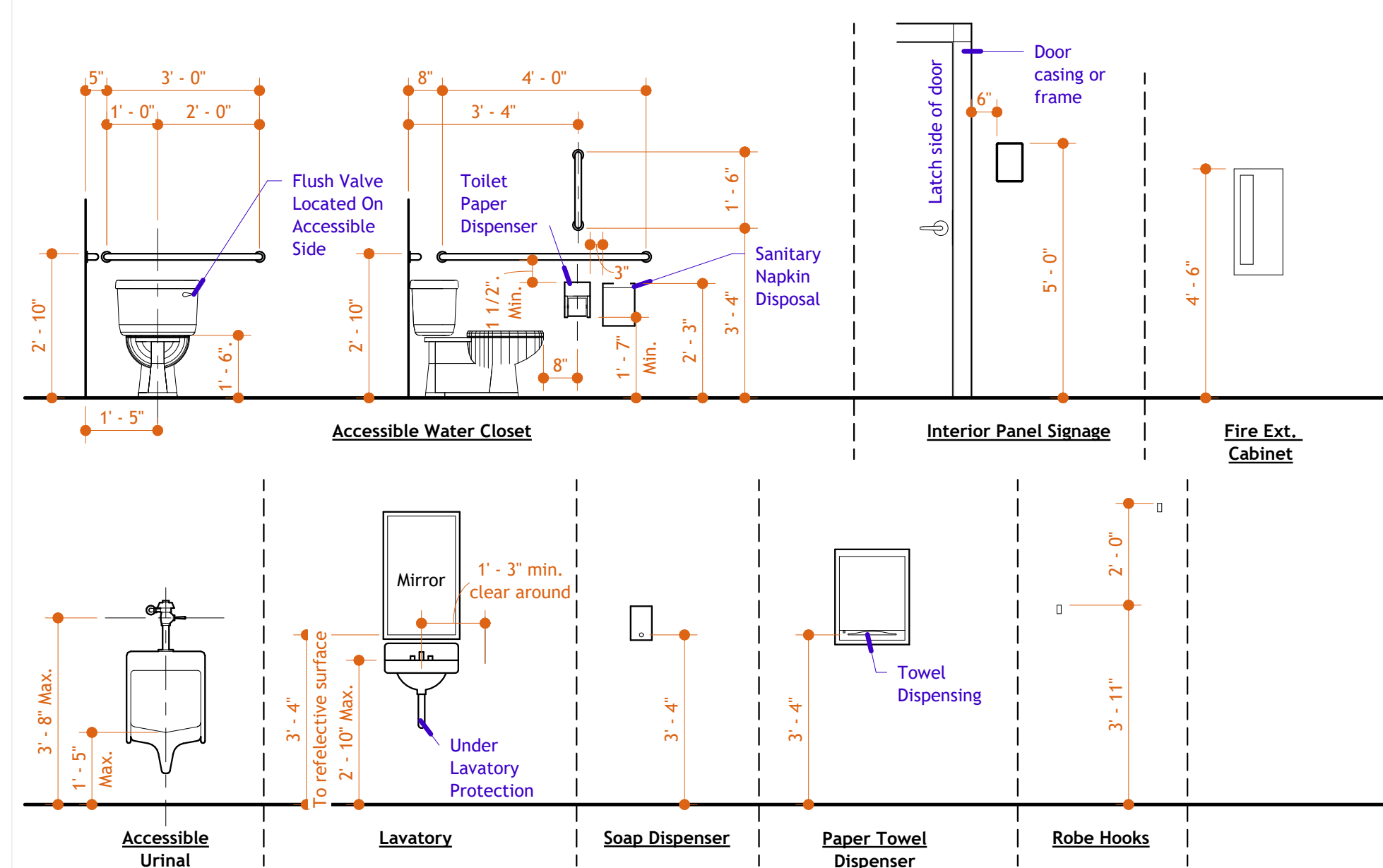
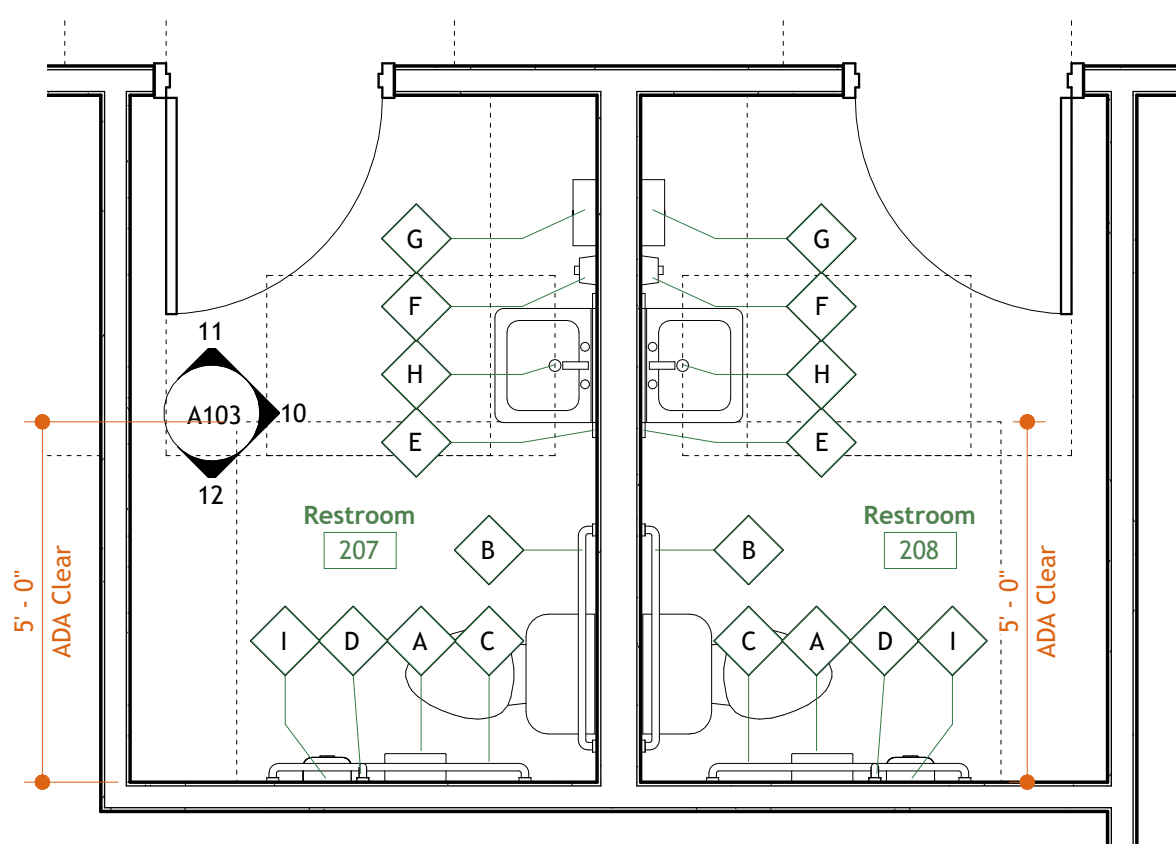


2 Restrooms 100 & 101 - Enlarged Plan

3/8" = 1'-0"

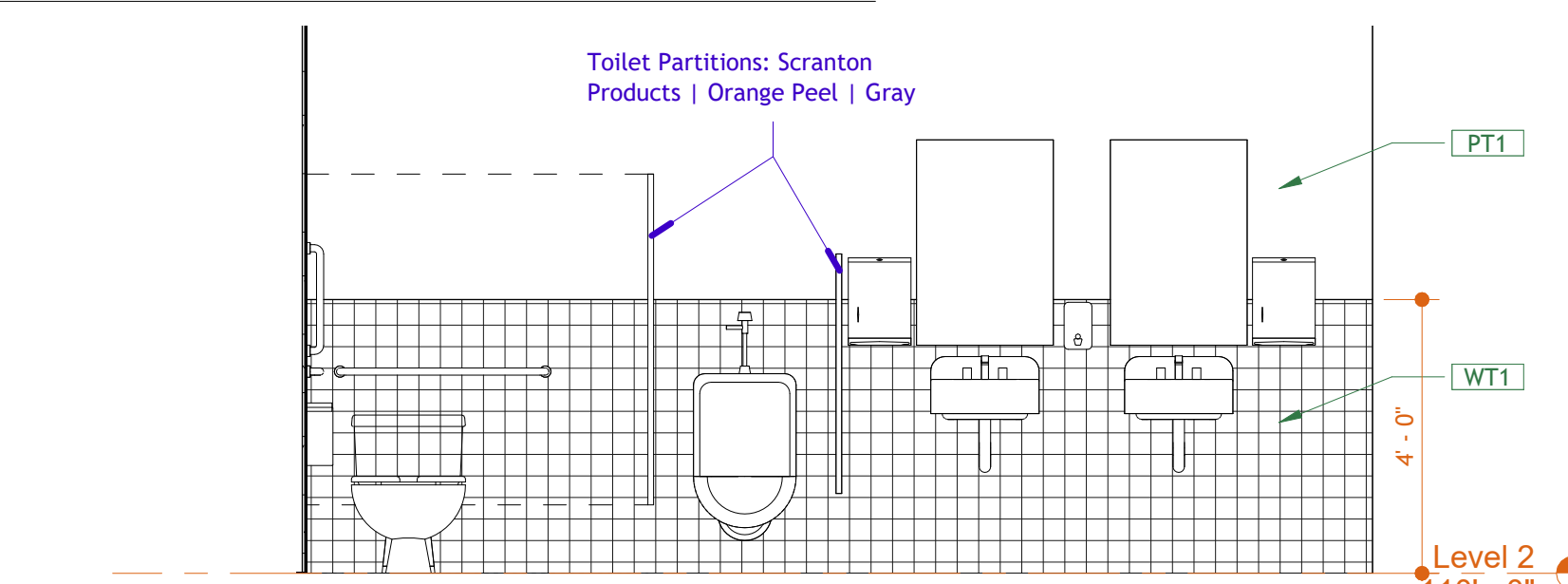
3 Restrooms 107 & 108 - Enlarged Plan

3/8" = 1'-0"



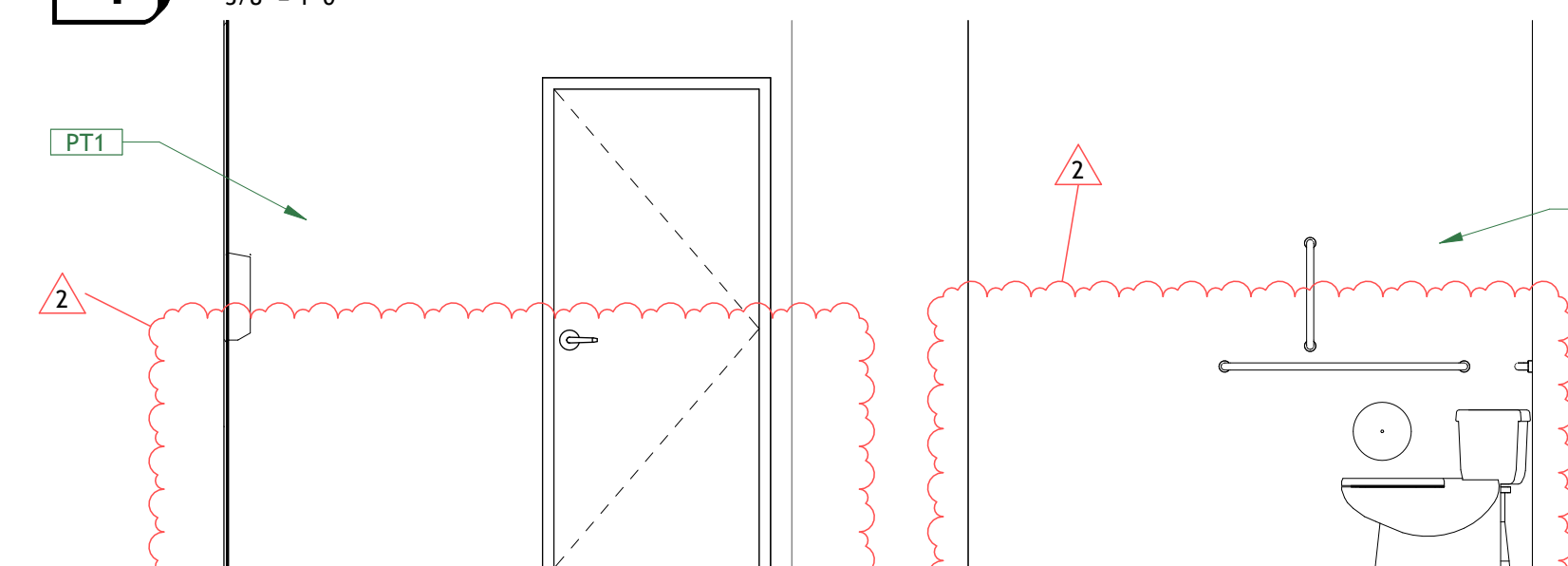
Standard Mounting Heights

3/8" = 1'-0"



4 Restroom 100 Elevation A

3/8" = 1'-0"

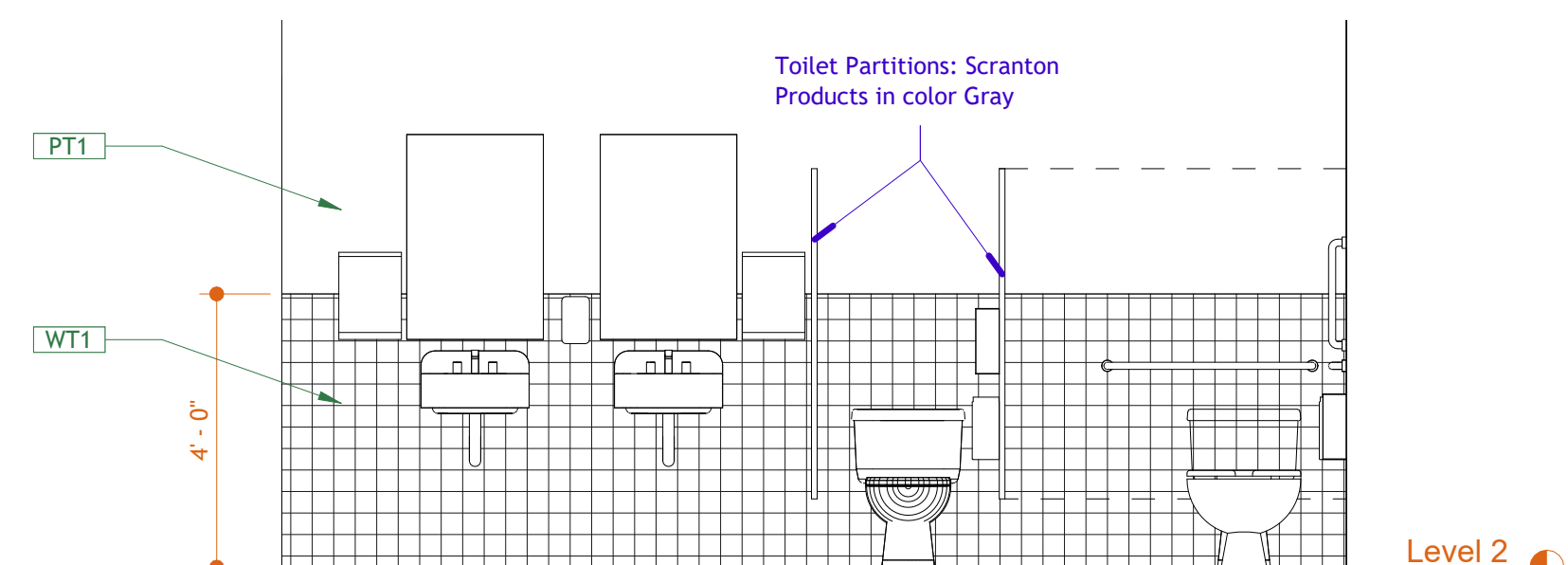


5 Restroom 100 Elevation B

3/8" = 1'-0"

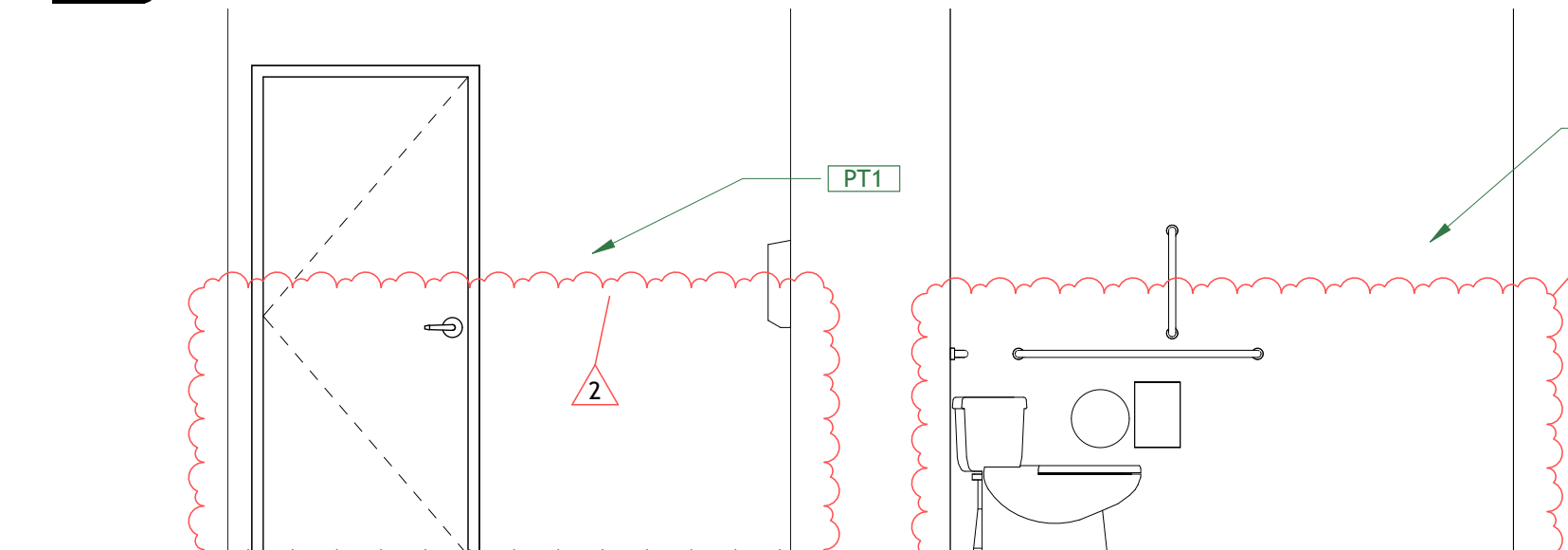
6 Restroom 100 Elevation C

3/8" = 1'-0"



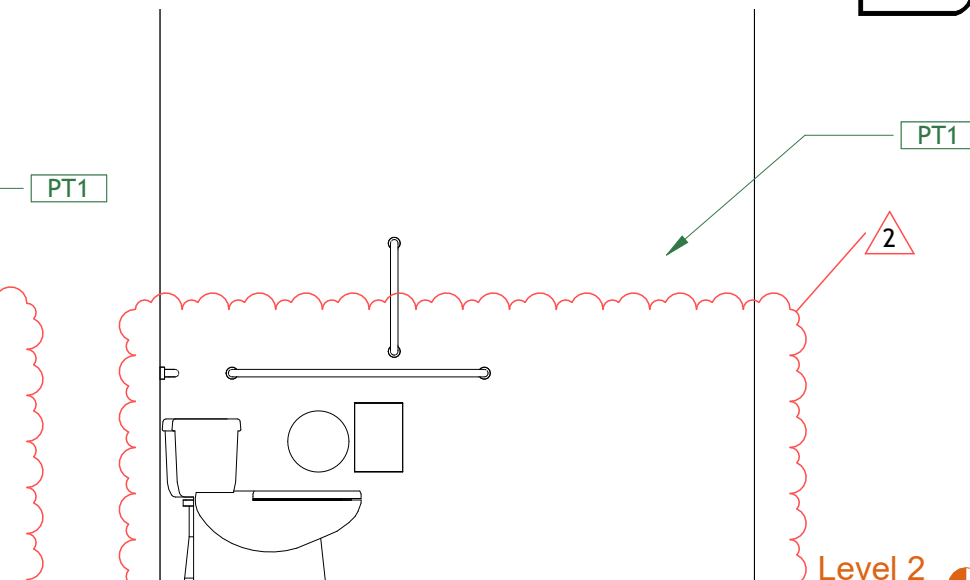
7 Restroom 101 Elevation A

3/8" = 1'-0"



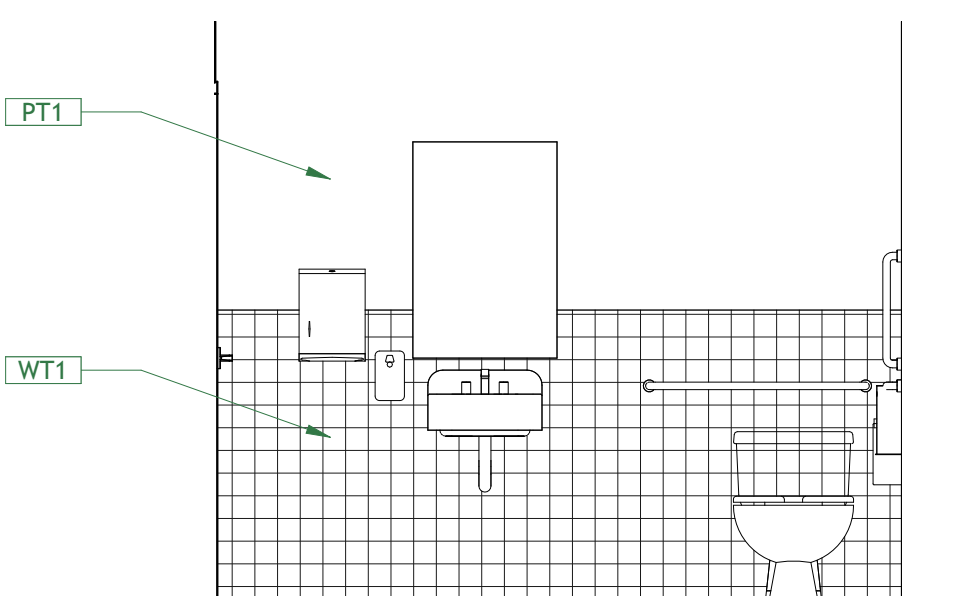
8 Restroom 101 Elevation B

3/8" = 1'-0"



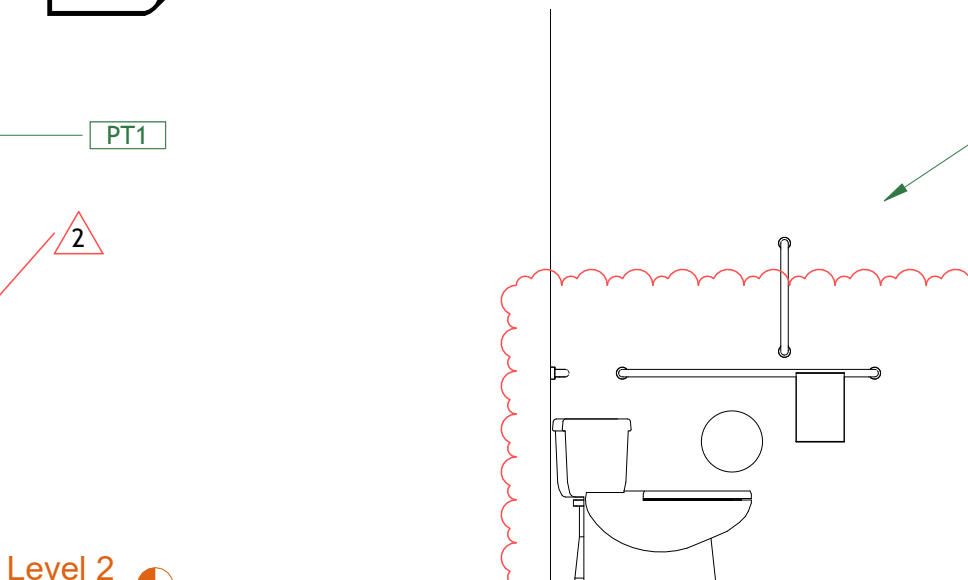
9 Restroom 101 Elevation C

3/8" = 1'-0"



10 Restroom 107 & 108 Elevation A

3/8" = 1'-0"



12 Restroom 107 & 108 Elevation C

3/8" = 1'-0"

ADDENDUM #3

May 21, 2024

DAVISS COUNTY COURTHOUSE - HVAC & LIGHTING REPLACEMENT

DRAWINGS

1. Refer to sheet M-1.0, HVAC General Note 12: Control wiring above-ceiling or in non-public areas need not be in conduit. Control wiring in public areas, offices, etc. shall be enclosed in raceway or conduit.

SPECIFICATIONS

1. Refer to Section 23 09 00 Instrumentation & Control for HVAC:
 - a. Trane is an approved manufacturer for HVAC Controls.
 - b. Subsection 1.2,B.6: CO2 sensor to be located at door exiting to 2nd Floor Main Corridor
 - c. Subsection 1.2,B.7: Modulating damper in duct not required; CO2 sensor connected to VAV-1
2. Refer to Section 23 74 33 Dedicated Outdoor Air Units:
 - a. Greenheck, Aeon, CaptiveAire are approved manufacturers.
3. Refer to Section 23 81 29 Variable Refrigerant Volume Systems:
 - a. Samsung, LG are approved manufacturers.

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